

Building and Timber Pest Inspection Report

Inspection Date: Wednesday, September 18, 2024
Property Address: Truganina 3029



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	If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.
Original Inspection Date	Wednesday, September 18, 2024
Modified Date	N/A

The Parties

Name of Clients	Sample Client
Name of Principal (if applicable)	N/A
Job Address	Truganina 3029
Client's Email Address	
Client's Phone Number	
Consultant	RBP
Email	inspections@facultyhomes.com.au
Registered Building Practitioner, Timber Pest Inspector and Licensed Pest Control License	Registered Building Practitioner Domestic, DB-U 63850 & Commercial, CDB -U 100048), Pest Controller, L011043 (VIC) You can check all details at: https://consumer.toolbox.buildingcommission.com.au/Pages/Search.aspx
Industry affiliations & memberships	<ul style="list-style-type: none">• Housing Industry Association• Building Dispute Resolution Society• The Australia Society of Building Consultants Inc
Company Name	Zenith Inspections and Building Consultants
Company Address and Postcode	Greenvale VIC 3059
Company Email	inspections@facultyhomes.com.au
Company Contact Numbers	0433 620 040

Special conditions or instructions

A report may be conditional on information provided by the person, agents or employees of the person requesting the report, apparent concealment of possible defects and a range of other factors.

The following apply: Not Applicable

Section A Results of inspection - summary

A summary of your inspection is outlined below; please also refer to the Report.

Sections	Evidence
Safety Hazard	Nil
BCA Non-Compliance Suspected	Yes
Substandard Workmanship	NA
Incomplete Works	NA
Contracts and Specifications Non-Compliance Suspected	NA
Major Defect/Key Findings	NA
Minor Defect/Key Findings	Yes
Live Timber Pest Activity	Nil
Timber Pest Damage	Nil
Conditions Conducive to Termite Pest Activity	NA

Additional specialist inspections: Not Applicable

In summary the building, compared to others of similar age and construction is in fair condition, the house needs attention to the highlighted items in the report (Please see the detailed report below, for more information)

Section B General

General description of the property

Building Type: Residential

Number of Storeys: Double

Main building – floor construction: house on brick piers

Main building – wall construction: Brick Veneer (Timber Framed)

Main building – Roof construction: Tin (Flat)

Other timber building elements: Fascias, Porch, alfresco, backyard, Doors, Door Frames, Architraves, Eaves and sheds

Other building elements: Fence - Post and Rail Construction, detached sheds, Driveway and front yard

Occupancy status: Occupied

Furnished: Furnished

Strata or company title properties: TBC

Orientation (to establish the way the property was viewed): West

Prevailing weather conditions at the time of inspection: Breezy & Sunny

Section C Accessibility

Areas Inspected

The following areas were inspected. As documented in your Pre-Inspection Agreement, obstructions and limitations to the accessible areas for inspection are to be expected in any inspection. Refer also to our listing of obstructions and limitations.

1. Exterior
2. Fencing
3. Gardens
4. Interior
5. Posts
6. The Site
7. Wall Exterior

The inspection excludes areas which are affected by obstructions or where access is limited or unsafe. We do not move obstructions and building defects may not be obvious unless obstructions or unsafe conditions are removed to provide access.

The following areas were inaccessible:

1. Areas of low roof pitch, insulation and other building material in roof cavity preventing full inspection
2. Brick piers footings and subfloor due to debris and piers layout
3. Ceiling Cavity – Part
4. Slab edge which would normally be exposed due to finished ground levels obscuring
5. Roof Exterior & Roof void
6. Some part of yards due to overgrown trees & grass

Any areas which are inaccessible at the time of inspection present a high risk for undetected building defects. The client is strongly advised to make arrangements to access inaccessible areas urgently.

Obstructions and Limitations

Building defects may be concealed by the following obstructions which prevented full inspection:

Ceiling linings, Duct work, Ceiling cavity inspection was obstructed by approximately 50% due to obstructions like insulation, ducting and poor clearance or access restrictions. Areas of low roof pitch preventing full inspection, Appliances and equipment, External concrete or paving External finished ground level, Fixed ceilings, Fixed Furniture - Built-in Cabinetry, Floor coverings Furniture, Insulation, Landscaping, Stored items

The presence of the below obstructions increases the risk of undetected defects. The client should make arrangement to remove obstructions where ever possible and re-inspect these areas as a matter of urgency. See also overall risk rating for undetected defects.

Undetected defect risk

A risk rating is provided to help you understand the degree to which accessibility issues and the presence of obstructions have limited the scope of the inspection.

The risk of undetected defects is: **Low**

When the risk of undetected defects is high, we strongly recommend further inspection once access is provided or if the obstruction can be removed. Contact us for further advice.

SAMPLE ONLY

BCA Non-Compliance Suspected

DEFECT: 1.0

Location: Finding:	Wall penetrations – Aircon drains
Information:	<p>If wall penetrations are not properly sealed, it's a potential BCA Non-Compliance. Wall penetrations, such as for pipes, cables, or ducts, need to be sealed to prevent water, air, or pest infiltration, as well as to maintain insulation and fire safety standards.</p> <p>Unsealed penetrations could lead to water damage, mold growth, or energy inefficiency.</p> <p>We recommend sealing these gaps to meet the necessary safety and compliance requirements in Victoria.</p> <p>Please refer to the Victorian Building Authority </p> <p>GUIDE TO STANDARDS AND TOLERANCES 2015: 7.08</p> <p>Pipe penetrations through external walls and inside cupboards Plumbing holes are defective if they are not:</p> <ul style="list-style-type: none">a) properly grouted as appropriateb) fitted through neat minimal size penetrations (in the case of cabinetwork)c) fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable. <p>Seal penetrations with appropriate material. Please consult a builder to rectify the issue."</p> <p>End Sub</p>





Findings: 1.0

Location: Finding:	Roof Inspection by Drone
Information:	<p>1. Roof Covering Condition: The roof covering appears to be in generally good condition. There are no visible signs of major damage such as cracks or missing tiles. Minor wear and tear consistent with the age of the roof was observed, but no immediate repairs are required.</p> <p>2. Box Gutters Observation: The box gutters were found to be holding some water, which may indicate poor drainage or slight sagging in some areas.</p> <p>Condition: The gutters are also filled with dirt and debris, which is likely contributing to the water retention issue.</p> <p>Recommendation: It is recommended to clean the gutters and check for any obstructions. If water pooling persists after cleaning, further inspection for slope and drainage problems should be conducted.</p> <p>3. Capping and Flashings:</p> <p>Observation: The capping and flashings are in good structural condition, with no signs of rust or damage.</p> <p>Condition: However, the silicone applied at joints and seams appears to be distorted in some areas.</p> <p>Recommendation: The distorted silicone should be checked and replaced where necessary to ensure a watertight seal and prevent potential water ingress.</p> <p>Overall Condition: Overall, the roof is in functional condition, but some minor maintenance tasks such as cleaning the gutters and addressing the silicone in the capping and flashings are recommended to maintain its integrity.</p> <p>Conclusion: While no significant issues were identified during this inspection, routine maintenance should be carried out to prevent small issues from developing into larger problems. Addressing the</p>

	silicone and cleaning the box gutters will ensure the longevity of the roof.
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	Please consult a registered roof plumber to address the concerns.
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SAMPLE ONLY

























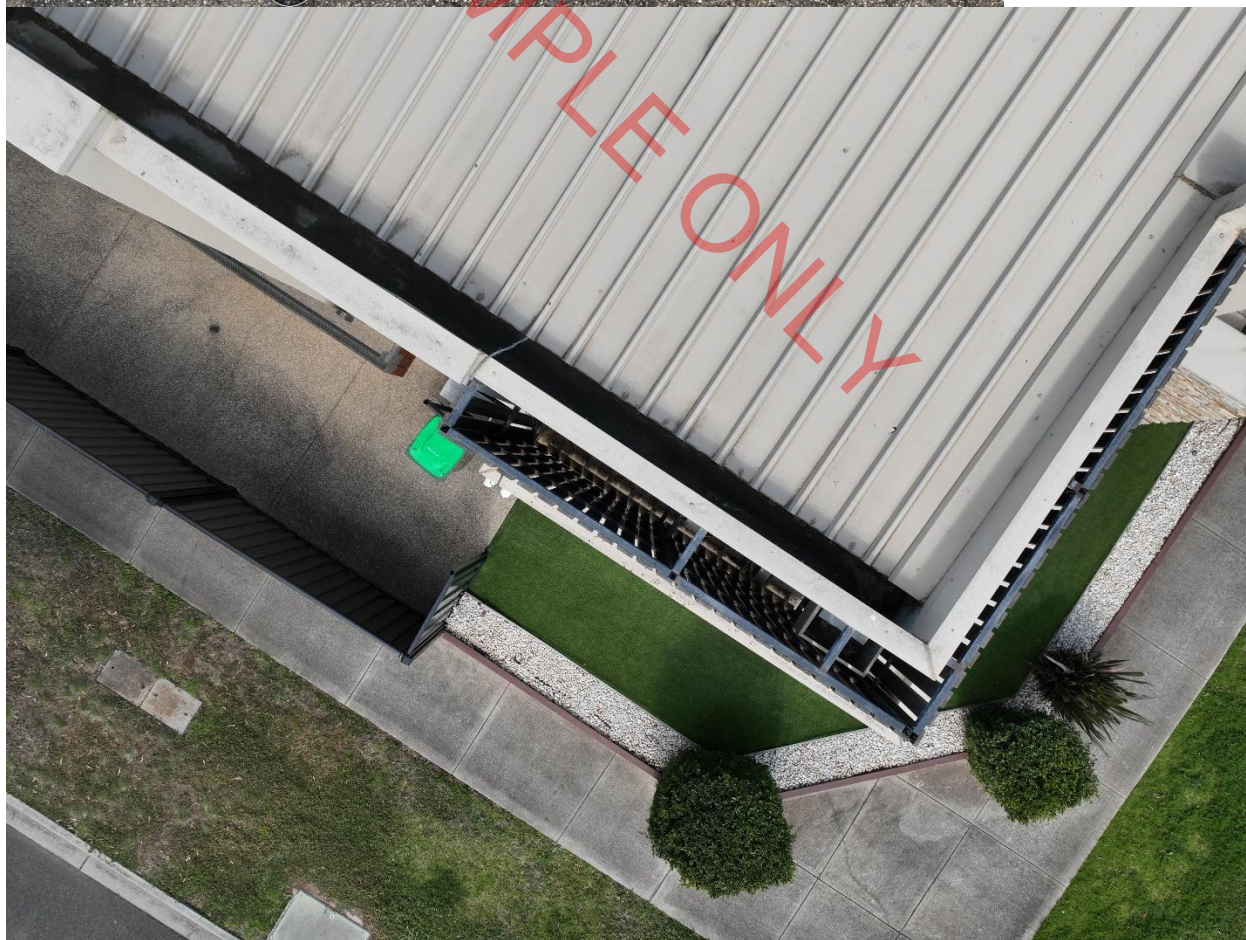




















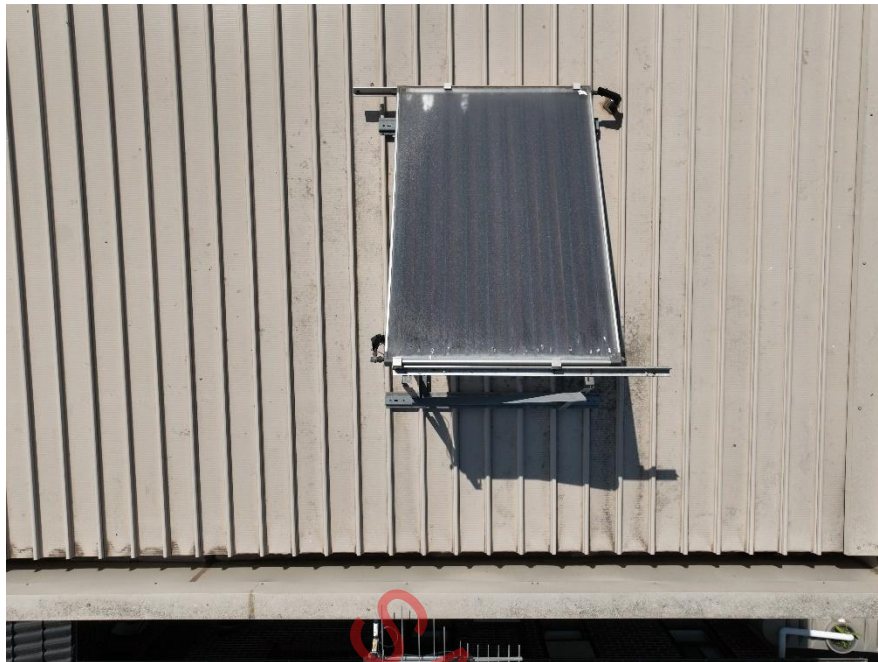






















Findings: 2.0

Location: Finding:	Timber slats (Decking timber) on metal frame (Façade) – Drone inspection
Information:	<p>The drone inspection was conducted on a set of timber slats affixed to a metal frame. The purpose was to evaluate the integrity and overall condition of the structure due to observed issues of distortion and rotting at the end caps.</p> <p>2. Observations</p> <p>2.1 Timber Slats</p> <p>Distortion: Multiple timber slats have shown visible signs of distortion, particularly near the central sections and ends, likely caused by environmental exposure, moisture absorption, or lack of adequate protection.</p> <p>Extent: Approximately [50] % of the slats are affected.</p> <p>Possible Cause: This distortion may be a result of: Prolonged exposure to moisture without proper treatment. Changes in temperature causing expansion and contraction of the wood. Poor-quality wood or improper installation techniques.</p> <p>Condition of Wood: The wood's finish has faded or peeled, indicating a lack of maintenance or ineffective protective coatings.</p> <p>2.2 End Capping</p> <p>Rotting: The end caps of the timber slats are suffering from significant rot. This is likely due to constant exposure to moisture, which has penetrated the wood at its most vulnerable points—the exposed ends. These areas seem to lack proper sealing or protective capping.</p> <p>Extent of Rotting: The rot is present on [25] % of the end caps, affecting their structural integrity and potentially leading to further degradation.</p> <p>Possible Cause: Insufficient weatherproofing of the timber ends.</p> <p>2.3 Metal Frame</p> <p>Condition of Metal Frame: Despite the issues with the timber, the metal frame appears to be in fair condition, with no significant signs of rust or structural damage. However, there is minor surface rust at some junctions, which should be monitored and treated to prevent further corrosion.</p> <p>Fixings and Connections: The connections between the timber and the metal frame are secure in some areas, potentially few fixings have loosened due to the distortion of the slats.</p>

3. Recommendations

3.1 Timber Slats

Replacement of Affected Slats:

It is recommended that the distorted and cracked slats be replaced with treated, weather-resistant timber.

Application of Protective Coating:

To prevent future distortion and moisture damage, all timber should be coated with a high-quality wood preservative and sealant.

3.2 End Capping

Replace End Caps:

All rotting end caps should be replaced with durable, weather-resistant material. Consider using plastic or metal caps instead of timber to ensure longer-lasting protection.

Improved Sealing:

Ensure that all end caps are properly sealed to prevent water ingress. A high-grade waterproofing sealant should be applied to these areas.

3.3 Metal Frame

Treatment of Rust:

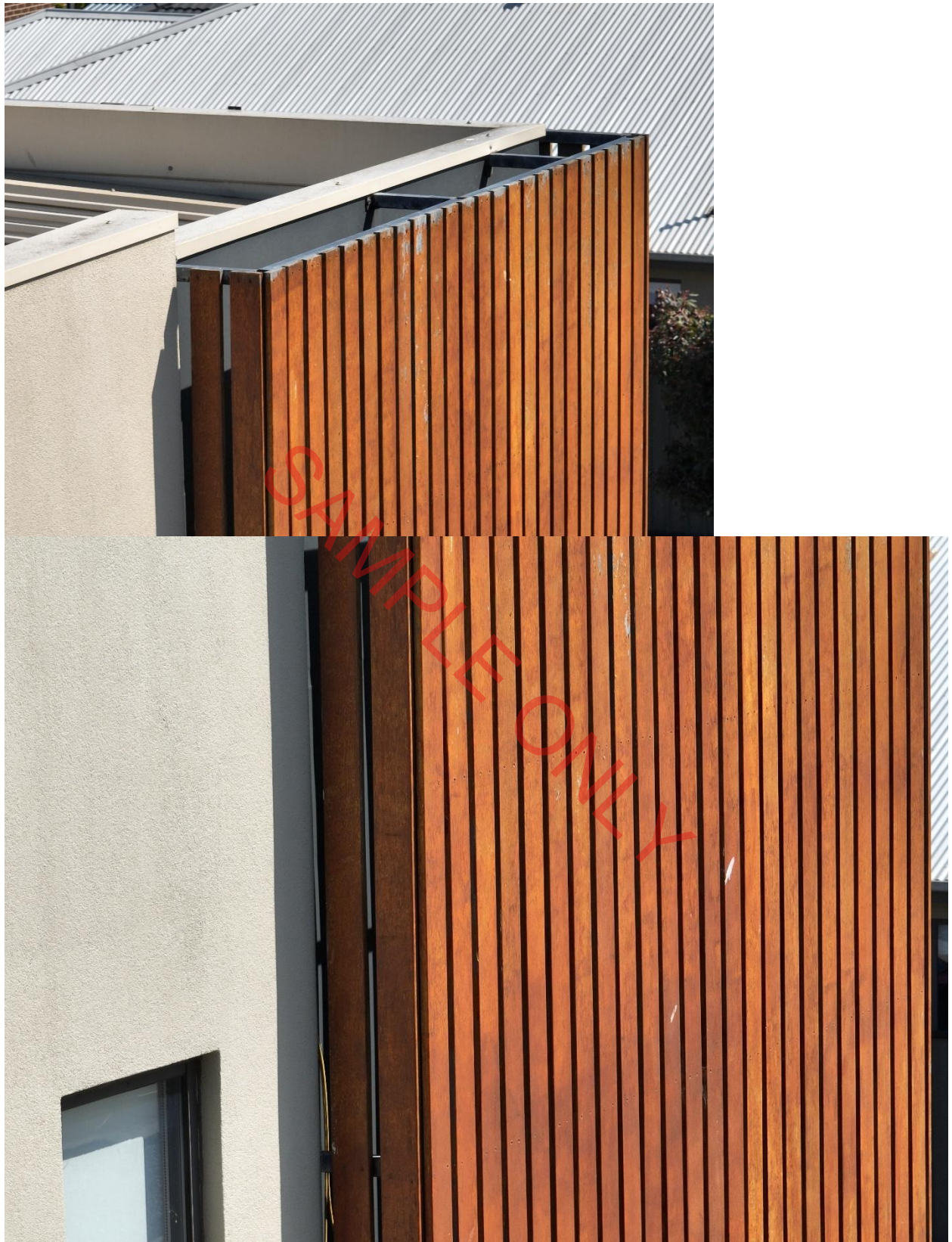
Light rust on the metal frame should be treated using a rust remover, followed by the application of a rust-inhibiting primer and paint.

Inspection of Fixings:

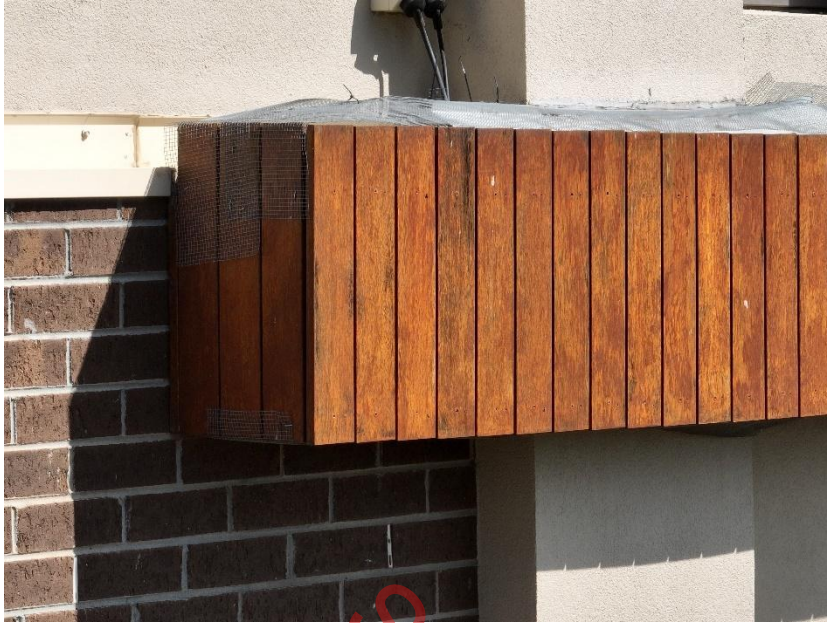
All timber-to-metal connections should be inspected and refastened as needed to ensure structural integrity.

4. Conclusion

The timber slats on the metal frame show significant signs of wear, particularly in the form of distortion and end cap rotting. These issues are compromising the structural integrity and aesthetic appeal of the structure. Immediate action is recommended to replace affected components and apply protective measures to prevent further deterioration.















Findings: 3.0

Location: Finding:	Pedestrian garage door – Weather Seal required
Information:	<p>During a inspection, it was observed that the external weather seal is missing from the pedestrian garage door located at rear of the garage. The weather seal, which is crucial for protecting the building from external elements, is not present on this door.</p> <p>Impact:</p> <p>The absence of the weather seal can lead to several issues, including:</p> <p>Water Infiltration: Without the seal, rainwater may enter the garage area, potentially causing water damage to the interior and increasing the risk of mould growth.</p> <p>Drafts: Cold air or drafts may enter the garage, making the space less comfortable and potentially affecting any sensitive equipment or stored items.</p> <p>Security Concerns: An incomplete seal could potentially compromise the security of the premises by allowing easy access for pests or unauthorized entry.</p> <p>Recommendations:</p> <p>Immediate Installation: It is recommended that an automatic weather seal be installed on the pedestrian garage door before the handover.</p> <p>Inspection and Maintenance: Regular inspections should be scheduled to ensure that all weather seals are intact and functioning properly.</p> <p>Verify Installation: Ensure that the new seal is properly installed and aligned to provide an effective barrier against weather elements.</p> <p>Conclusion:</p> <p>The absence of the external weather seal on the pedestrian garage door needs to be rectified promptly to prevent potential.</p>





Findings: 4.0

Location: Finding:	Hot Water Unit Overflow Drain Not Connected to Stormwater System
Information:	<p>During the inspection of the hot water unit located at side of the house, it was found that the overflow drain is not properly connected to the stormwater drainage system. The overflow drain is intended to safely channel excess water away from the unit to prevent potential damage and maintain operational efficiency.</p> <p>Impact:</p> <p>The disconnection of the overflow drain from the stormwater system can lead to several issues, including:</p> <p>Water Damage: In the event of an overflow or leakage, water may accumulate around the hot water unit, potentially causing damage to the surrounding area and structural components.</p> <p>Safety Hazards: Standing water or unintended water flow can create slipping hazards and other safety risks in the vicinity of the hot water unit.</p> <p>Potential for Mould Growth: Persistent moisture from the overflow can lead to mold growth, which may pose health risks and require costly remediation.</p> <p>Recommendations:</p> <p>Connect Overflow Drain: The overflow drain should be properly connected to the stormwater system to ensure that any excess water is effectively directed away from the hot water unit and building.</p> <p>Inspect and Test: After reconnecting the drain, perform a thorough inspection and test the system to confirm that the drainage is functioning correctly and that no further issues are present.</p> <p>Regular Maintenance: Implement a regular maintenance schedule to monitor the condition of the overflow drain and ensure that it remains connected and operational.</p> <p>Conclusion:</p> <p>The improper connection of the hot water unit overflow drain to the stormwater system needs to be addressed promptly to prevent potential damage and ensure proper operation. An action is required to reconnect the drain and mitigate any associated risks.</p>

Findings: 5.0

Location: Finding:	Hot Water Unit is recessed
Information:	<p>During the inspection of the hot water unit, it was observed that the unit is recessed below the level of the surrounding pavement. Additionally, no drainage system is in place to manage overflow or leakage from the unit. Green patches were also found on the concrete pavement near the hot water unit, indicating possible algae or mould growth, likely due to water accumulation.</p> <p>Impact:</p> <p>The current setup presents several concerns:</p> <p>Water Accumulation: The lack of proper drainage means that any overflow or leakage from the hot water unit could collect in the recessed area, leading to standing water.</p> <p>Surface Damage: Prolonged water exposure can cause significant wear to the surrounding pavement, potentially leading to cracks or other structural damage.</p> <p>Algae and Mold Growth: The green patches found on the concrete are a likely sign of algae or mold, which thrive in damp environments. This not only presents a hygiene issue but could also be a safety hazard.</p> <p>Corrosion Risk to the Unit: Standing water around the hot water unit can lead to corrosion or other damage to the unit itself, shortening its operational lifespan.</p> <p>Recommendations:</p> <p>Install Proper Drainage System: A proper drainage system should be installed to allow for the safe disposal of any overflow or leaks from the hot water unit. This will prevent water from pooling in the recessed area.</p> <p>Level the Hot Water Unit: If possible, consider raising the hot water unit to be level with the surrounding pavement, which would help prevent water accumulation and reduce long-term damage risks.</p> <p>Clean and Treat Affected Areas: The green patches on the pavement should be cleaned and treated with an anti-fungal or anti-algae solution to prevent further growth. Monitor for regrowth and re-treat as necessary.</p> <p>Regular Maintenance and Monitoring: Implement a regular inspection and maintenance schedule to monitor for any new signs of water accumulation, algae growth, or pavement damage.</p> <p>Consider Waterproofing: If leveling the unit is not feasible, applying a waterproof membrane to the recessed area may help reduce water retention.</p>

Conclusion:

The current condition of the hot water unit, being recessed below pavement level and lacking a drainage system, is leading to water accumulation and associated algae or mold growth. Immediate action is required to install proper drainage and address the green patches to prevent further structural damage, reduce safety hazards, and protect the longevity of the hot water unit.





Findings: 6.0

Location: Finding:	Poorly Finished Window Frames Sealed with Clear Silicone
Information:	<p>During the inspection of the windows at North, it was observed that several window frames have been sealed with clear silicone. The sealant appears to have been applied unevenly, resulting in a poorly finished look. There are visible inconsistencies in the application, such as excess silicone around the edges, smudges on the window glass, and irregular bead lines.</p> <p>Impact:</p> <p>The improper application of silicone sealant can have several negative consequences, including:</p> <p>Aesthetic Impact: The uneven and sloppy silicone application detracts from the overall appearance of the windows and the building, giving it an unprofessional and unfinished look.</p> <p>Potential Water Infiltration: If the silicone has not been applied correctly, gaps may exist between the window frames and the building envelope. This can allow water infiltration, leading to potential water damage, mold growth, or compromised insulation.</p> <p>Decreased Durability: Poorly applied silicone may not provide an effective long-term seal, resulting in the need for more frequent maintenance or replacement.</p> <p>Dirt and Debris Accumulation: The excess silicone and irregular bead lines may trap dirt and debris over time, further degrading the appearance and potentially affecting the seal's integrity.</p> <p>Recommendations:</p> <p>Reapply Silicone Sealant: It is recommended that the current silicone be carefully removed, and the windows be resealed by a professional using the correct technique. This will ensure both a clean finish and an effective seal.</p> <p>Quality Control: During the resealing process, ensure that the bead lines are smooth, uniform, and free of excess sealant. Any smudges on the window glass should be promptly cleaned off.</p> <p>Inspect for Gaps: After resealing, perform a thorough inspection to ensure that no gaps remain between the window frame and the building, which could allow water infiltration.</p> <p>Regular Maintenance: Implement a schedule for regular inspections of window seals to ensure their continued effectiveness and appearance, especially in high-exposure areas.</p>

Conclusion:

The clear silicone applied to some window frames is poorly finished, leading to both aesthetic concerns and potential functional issues. Resealing the windows with proper technique and care is necessary to improve both the appearance and performance of the seals.





Findings: 7.0

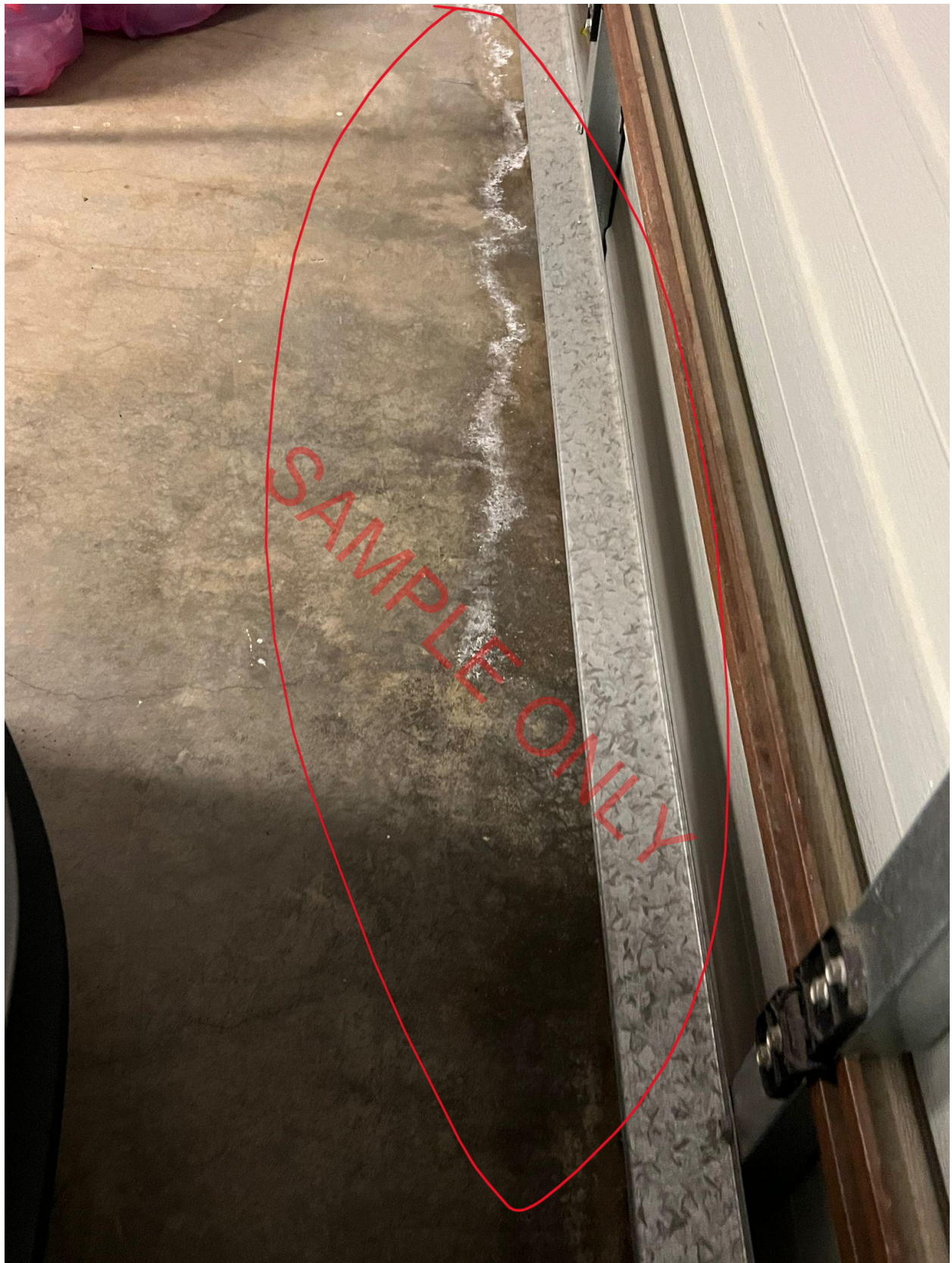
Location: Finding:	Surface Cracks and Salt Marks on Garage Floor
Information:	<p>During the inspection of the garage floor at [specific location], it was observed that there are multiple surface cracks along the concrete floor. Additionally, white salt marks (efflorescence) are visible in several areas of the floor. These signs indicate potential issues with moisture penetration and the integrity of the concrete surface.</p> <p>Impact:</p> <p>The presence of surface cracks and salt marks can lead to several concerns:</p> <p>Structural Integrity: While surface cracks are often a result of normal wear, they could also indicate underlying structural issues. If left unattended, these cracks may widen and lead to more significant damage over time.</p> <p>Water Infiltration: The visible salt marks are a sign of efflorescence, which occurs when water penetrates the concrete and evaporates, leaving behind salt deposits. This moisture infiltration could contribute to further damage, such as the weakening of the concrete, spalling, or even the growth of mold or mildew.</p> <p>Aesthetic Impact: The cracks and salt marks detract from the appearance of the garage floor, making it look weathered and poorly maintained.</p> <p>Safety Concerns: If the cracks become larger, they could create uneven surfaces, increasing the risk of tripping or other safety hazards in the garage.</p> <p>Recommendations:</p> <p>Repair Surface Cracks: The cracks should be cleaned and filled with a suitable concrete filler or sealant to prevent them from expanding and to protect the surface from further deterioration.</p> <p>Address Moisture Source: Investigate the source of moisture causing the salt marks. This may involve checking for any leaks, improper drainage, or inadequate waterproofing. Resolving the moisture issue will prevent future efflorescence and protect the concrete.</p> <p>Clean and Treat Efflorescence: The white salt marks should be cleaned using an appropriate cleaning solution to remove the deposits. Once cleaned, consider applying a concrete sealer to the affected areas to protect against further moisture penetration.</p> <p>Monitor for Further Damage: Regularly inspect the garage floor for any new cracks, signs of moisture infiltration, or recurring efflorescence. This will allow for timely maintenance and prevent larger issues from developing.</p>

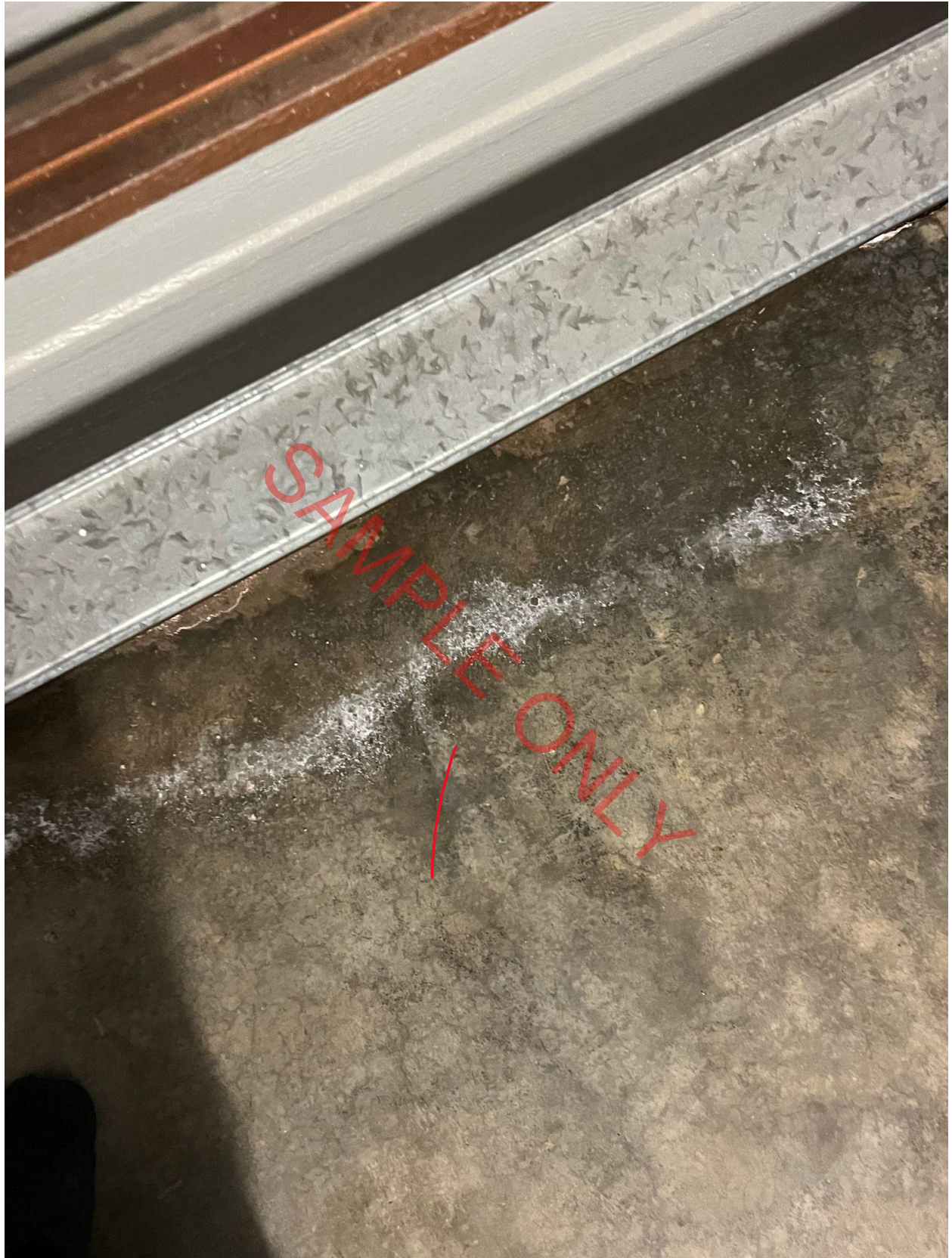
Optional Floor Resurfacing: If the damage is extensive or if aesthetics are a concern, resurfacing the garage floor with a new concrete overlay may be considered to restore both the look and durability of the surface.

Conclusion:

The surface cracks and salt marks on the garage floor indicate potential issues with moisture infiltration and surface wear. Immediate repairs and addressing the moisture source are necessary to prevent further damage and ensure the longevity of the garage floor.



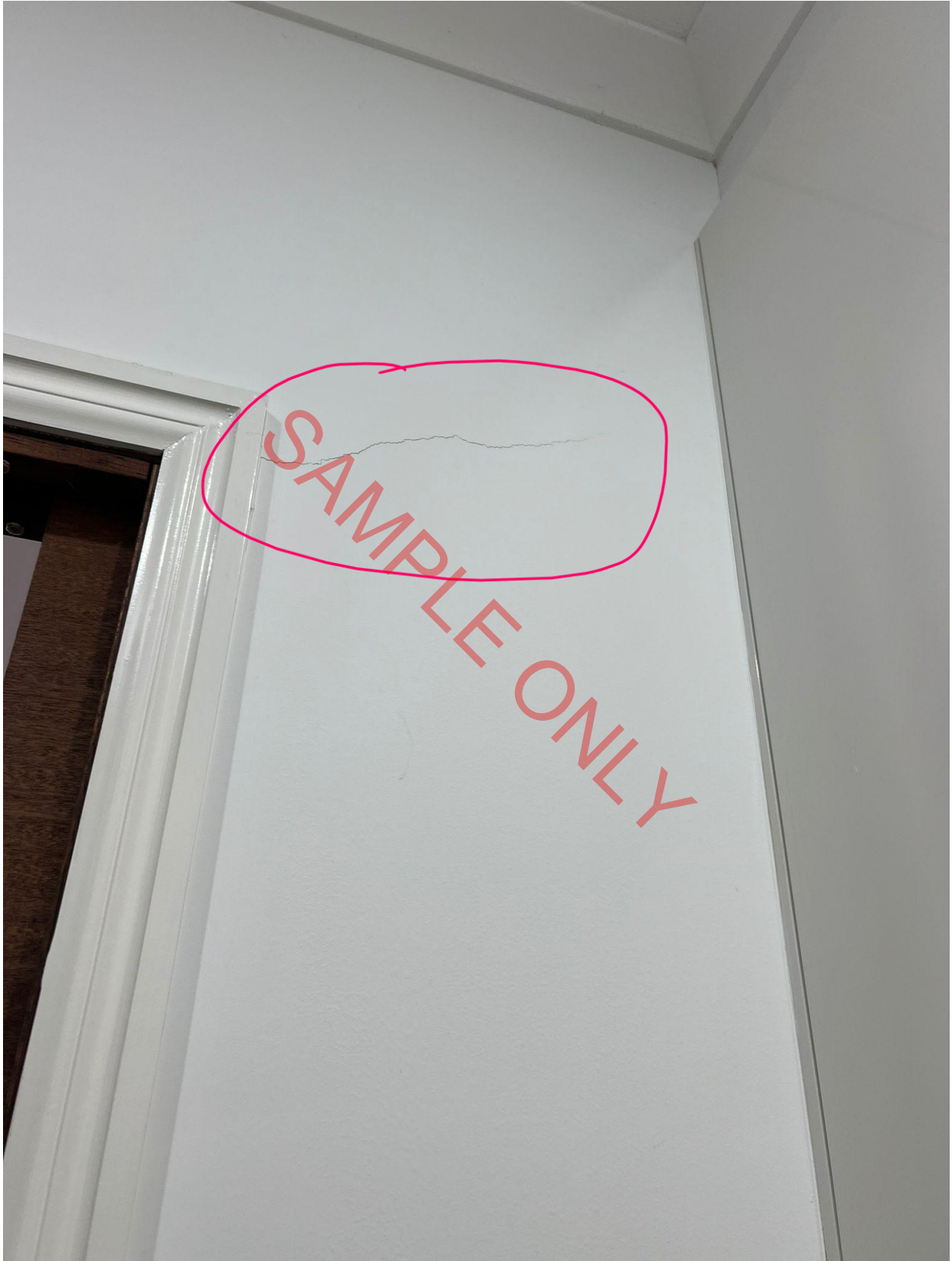






Findings: 8.0

Location: Finding:	Minor crack on plaster board – Butler's pantry
Information:	<p>During the inspection of the butler's pantry at, minor visible cracks were observed on the plasterboard near the door jamb. These cracks appear to be surface-level and do not show any signs of significant structural damage. The cracks may have developed due to natural settling of the building, minor movement around the door frame, or slight shifts in the structure.</p> <p>Impact:</p> <p>The cracks, though minor, can have several effects, including:</p> <p>Aesthetic Impact: The cracks detract from the overall appearance of the pantry, giving the area a worn or unmaintained look.</p> <p>Potential for Expansion: While the cracks are currently small, if not addressed, they may expand over time due to further movement or environmental factors, leading to more noticeable damage.</p> <p>Decreased Durability of Plasterboard: Repeated stress around the door jamb area could cause additional cracking, which may weaken the plasterboard and affect the durability of the surrounding area.</p> <p>Recommendations:</p> <p>Repair Cracks: The cracks should be filled with a suitable plaster filler and sanded smooth. Once the repair is complete, the area should be repainted to blend with the surrounding surface for a clean finish.</p> <p>Monitor for Future Movement: Regularly inspect the area near the door jamb to check for any additional cracks or signs of movement. If new cracks appear or existing ones worsen, further investigation into potential structural movement may be required.</p> <p>Ensure Proper Door Alignment: Inspect the door to ensure it is properly aligned and not causing undue stress on the surrounding plasterboard. If the door is misaligned, minor adjustments may be needed to prevent further cracking.</p> <p>Conclusion:</p> <p>The minor cracks near the door jamb in the butler's pantry are primarily cosmetic but should be repaired to maintain the aesthetic and integrity of the plasterboard. Regular monitoring is recommended to ensure that the cracks do not worsen over time.</p>



Findings: 9.0

Location: Finding:	Balcony – Distorted silicone on end flashing
Information:	<p>During the inspection of the balcony at, it was noted that the silicone sealant around the end capping is distorted and shows signs of degradation. Additionally, the silicone across the rest of the balcony appears worn and could benefit from replacement as part of regular maintenance.</p> <p>Impact:</p> <p>The distorted and aging silicone poses several concerns:</p> <p>Water Infiltration: Distorted or deteriorating silicone can lead to gaps, allowing water to penetrate the areas around the end capping and other parts of the balcony. This could result in water damage to the underlying structure and potentially cause leaks into the interior or lower levels of the building.</p> <p>Structural Integrity Risk: Prolonged water exposure due to failed sealant could weaken the materials used in the balcony's construction, leading to more significant repair needs in the future.</p> <p>Aesthetic Concerns: The distorted silicone detracts from the visual appearance of the balcony, making it look worn and poorly maintained.</p> <p>Increased Maintenance Costs: If the silicone is not replaced promptly, further deterioration could result in larger repair costs down the line due to potential water ingress or structural damage.</p> <p>Recommendations:</p> <p>Replace Distorted Silicone Around End Capping: The silicone around the end capping should be removed and replaced with new, high-quality sealant. Care should be taken to ensure a proper, smooth application to prevent future issues.</p> <p>Full Balcony Silicone Replacement: As part of routine maintenance, it is advisable to replace the silicone across the entire balcony. This will provide a uniform seal and ensure that no other areas are susceptible to water infiltration.</p> <p>Inspect for Damage: While replacing the silicone, inspect the balcony's structure, including joints, tiles, and railings, for any signs of damage caused by previous water infiltration. Repair any affected areas as necessary.</p> <p>Regular Maintenance Schedule: Establish a regular maintenance schedule for checking the condition of the silicone and other weatherproofing elements of the balcony. This will help prevent future issues and extend the longevity of the balcony.</p>

	<p>Conclusion:</p>
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	<p>The distorted silicone around the end capping and the aging sealant throughout the balcony require immediate attention. Replacing the silicone as part of a broader maintenance effort will help preserve the integrity of the balcony, prevent water damage, and improve its overall appearance.</p>
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Findings: 10.0

Location: Finding:	Stairs – General report
Information:	<p>During the inspection of the staircase at, it was found to be in generally good condition, with only minor defects observed. These include a hairline gap along the stringer and a small, natural dent in the timber on the landing.</p> <p>Observed Defects:</p> <p>Hairline Gap on Stringer: A small hairline gap was observed on the stringer. This is likely due to natural settlement or minor movement of the structure and does not currently pose any significant risk to the integrity of the stairs.</p> <p>Small Dent in Timber on Landing: A small, natural dent was found in the timber of the landing. This appears to be the result of normal timber profile and does not affect the functionality or safety of the staircase.</p> <p>Overall Condition:</p> <p>Despite these minor imperfections, the overall condition of the stairs is satisfactory. The structure is stable, and no signs of major damage, such as cracks, warping, or rot, were detected.</p> <p>Impact:</p> <p>Aesthetic Impact: Both the hairline gap on the stringer and the small dent in the timber are minor cosmetic issues and do not significantly affect the appearance of the stairs.</p> <p>Structural Impact: Neither of these issues compromises the structural integrity of the staircase at this time.</p> <p>Recommendations:</p> <p>Monitor Hairline Gap: The hairline gap in the stringer should be monitored over time to ensure that it does not widen or become a structural concern. If necessary, it can be filled with a suitable wood filler or sealant to prevent dust and moisture ingress.</p> <p>Leave Dent as Is: The small dent on the timber landing is a natural occurrence and does not require any immediate action unless aesthetics are a concern. If desired, light sanding or filling could be performed to improve the surface finish.</p> <p>Regular Inspection: Continue with regular inspections of the stairs to identify any further wear or structural changes over time, especially if there are any new movements or gaps that develop.</p>

Conclusion:

The staircase is in overall good condition with no major structural or safety concerns. The hairline gap on the stringer and the small dent in the timber landing are minor issues that do not require urgent attention but should be monitored during routine maintenance.











Findings 11.0

Location: Finding:	Termite Management or treatment evidence or certificate in the meter box is intact
Information:	<p>It was noted there was an evidence of termite treatment at the construction stage.</p> <p>Annual termite inspection is required, please check the local council for termite attack prone area</p>

Live Timber Pest Activity: No evidence was found

Termatrac T3i All Sensor: Using Termatrac T3i All Sensor, The T3i All Sensor has revolutionized the practice of professional termite detection by combining the 3 critical technologies required to completely and efficiently detect, locate and confirm the presence of termites and other pests. The T3i All Sensor will detect, confirm and track termites and other pests without requiring any penetration or damage to building property.



Findings 12.0

Location: Finding:	All Wet Areas (Plumbing Traps and taps)
Information:	All the taps are working. Please check before settlement. Unable to test jacuzzi because of water amount needed, please check at the time of settlement.

Findings 13.0

Location: Finding:	Water Meter assembly is intact, no evidence of leak.
Information:	Please check again before the settlement

Timber Pest Damage: No evidence was found

Conditions Conducive to Timber Pest Activity

Location: Finding:	Yards- All around Front and back: Subsidence - Local trees and vegetation
Information:	The property currently shows minimal signs of subsidence, which could be linked to local trees and vegetation. No immediate action is required beyond monitoring, but it is important to keep an eye on any changes in soil movement or tree growth to prevent potential structural issues in the future. Continued low-maintenance care of the area is recommended with periodic checks.

Section E Attachments and Further Comments

Finding 1.0: Appliances, and Exhaust fan (Bathroom)

Location: Finding:	All areas Appliances, exhaust fan (Bathroom).
Information:	All tested and were in working condition, please check again at the time of settlement.

Finding 2.0: Smoke Alarm

Location: Finding:	Action required
Information:	<p>Smoke alarms should be tested regularly</p> <p>Monthly: Test by pressing the test button with a broom handle Yearly: Vacuum around your smoke alarm vents Yearly: Replace your 9-volt battery each year at the end of daylight saving</p> <p>Remember all smoke alarms need to be replaced after 10 years. When replacing an existing nine-volt battery smoke alarm consider installing a photoelectric smoke alarm with an inbuilt ten-year lithium battery. This will eliminate the need to change the battery every year.</p> <p>We recommend a thorough testing of the smoke alarm by a licensed professional</p>

Conclusion - Assessment of overall condition of property

The property is in good condition for its age with no live termite/pest activity at the time of the inspection. The house needs attention to the highlighted defects in the report, it is highly recommended that the house needs to be fixed in all affected areas in order to be presented in a professional manner at the time of settlement.

For further information, advice and clarification please contact Kashif Salman on 0433620040.

Conclusion - Assessment of overall condition of property

Rectification Required: YES

This report is the result of a visual inspection only and is intended to provide a reasonable confirmation of the current condition of the property.

Should the reader of this report have any questions in relation to the items set out within it, please do not hesitate to contact me Kashif Salman on 0433620040.

PROVISION OF THIS REPORT

The Report is expressly produced for the sole use of the Client. Legal liability is limited to the Client.

No advice is given regarding the presence, or effect, of termites on the Property.

A specialist company should be approached to provide such certification if required.

The Client acknowledges, and agrees that any comments contained in the Report relating to matters of an electrical or plumbing nature are based on a visual inspection only carried out by the Inspector on the day of the inspection, and should not in any way be relied upon by the Client as a substitute for obtaining expert professional advice from a licensed electrician or plumber.

Any charge-out rate quoted relates to normal work and is not applicable for work relating to arbitration, mediation, conciliation, expert witness, court appearance, document preparation, or any other legal application. The Report comments on only those features that were reasonably visible and reasonably accessible at the time of the inspection, without recourse to viewing platforms, the removal, or moving of building components, or any other materials of any kind or any other unusual methodology.

We have not inspected the structure/frame/foundation/drains etc. that are covered, unexposed or inaccessible, and are therefore unable to report that any such part of the structure is free from defect.

Only those items in the Report that have been commented upon have been inspected. If there is no comment against an item, it has not been inspected. The Inspector gives no undertaking that they will inspect all items present on the day of the inspection.

All advice given by the Inspector and not included in the Report is given in good faith. However, no responsibility is accepted for any losses, either direct or consequential, resulting from the advice.

The Report is confirmation of a visual inspection of the Property carried out by the Inspector on the day of the inspection and only covers those items that could reasonably be detected by such visual inspection at the time of such inspection.

To the extent permitted by law, liability under any condition or warranty that cannot legally be excluded, is limited to supplying the Report again, or paying the cost of having the Report supplied again.

If the Report fails to conform in any material respect to the terms and conditions set out herein, then the Inspector is not liable unless the Client notifies the Inspector of the failure within 28 days after the date of delivery of the Report, and the liability of the Inspector is, in any case, limited to the cost of providing this inspection, and the Inspector is not liable for any consequential damage.

The terms and conditions contained herein constitute the entire agreement and understanding between the Client and the Inspector, on everything connected to the subject matter of the Agreement, and supersede any prior agreement or understanding or anything connected with that subject matter.

These are the standard terms and conditions under which we provide our service to you. When we provide you our service, we do so on the basis that these terms and conditions make up the terms of the contract between you and us, and you agree to be bound by these terms and conditions.

This Report is not intended to be used for the purposes of VCAT, or similar civil arenas, and You agree that We reserve the right to decline the invitation to present this report as evidence in any civil matter.

If you do not agree to be bound by these terms and conditions, then you must contact us prior to us providing you our service to advise us that you do not want to make a contract with us, and do not want us to provide our service to you.

Terms on which this report was prepared

SERVICE

As requested by the Client, the inspection carried out by the Building Consultant ("the Consultant") was a "Pre-Purchase Standard Property Inspection Report".

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) Possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) Undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. 'Visual only' inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out whenever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.1-2007 Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings recognises that a property inspection report is not a warranty against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;

- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead-based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

DEFINITIONS

Client means the person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

Building Consultant means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings. The consultant must also meet any Government licensing requirement, where applicable.

Building & Site means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries. In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the nominated residence and does not include inspection of common property.

Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

Structure means the loadbearing part of the building, comprising the Primary Elements.

Primary Elements means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

(a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.

(b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).

(c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.

(d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Secondary Elements means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and Lino.

Major Defect means a defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect means a defect other than a Major Defect.

Serious Safety Hazard means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Tests means where appropriate the carrying out of tests using the following procedures and instruments:

(a) Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.

(b) Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

A.2 ACCESSIBILITY

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the property.

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally

accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth.

Building Interior, the consultant did not move or remove any ceilings, wall coverings, floor coverings (including carpeting and wooden floorboards), furnishing, equipment, appliances, pictures or other household goods. In an occupied property, furnishings or household items may be concealing evidence of defects, which may only be revealed when the items are moved or removed.

NOTE. In the case of strata and company title properties or other Class 2 buildings or equivalent, if the inspection was limited to assessing the interior of a particular unit or lot, the Client may have additional liability for defects in the common property. This additional liability can only be addressed through the undertaking of a special-purpose inspection report, which is adequately specified.

Building Exterior, Roof Exterior and Site The consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris or rubbish, etc. Such items may be concealing defects, which may only be revealed when the items are moved or removed.

Roof Space Obstructions such as roofing, stored articles, thermal insulation, sarking and pipe/duct work may be concealing evidence of defects, which may only be revealed when the obstructions are moved or removed. Also, bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard AS 4349 the minimum requirement is a 400 mm by 500 mm access manhole.

Subfloor Space Storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of defects, which may only be revealed when the obstructions are moved or removed. Bodily access should be provided to all accessible subfloor areas. In accordance with Australian Standard AS 4349 the minimum requirement is a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, then the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings. If the subfloor has been sprayed for subterranean termites or if the area is susceptible to mould growth, appropriate health precautions must be followed before entering the area. Also, special care should be taken not to disturb the treated soil. For further advice consult the person who carried out this report.

A.3 IMPORTANT NOTE

Special attention should be given to the Scope, Limitations and Exclusions in this document.

Unless stated otherwise in this Report, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

Importantly, Australian Standard AS4349.1-2007 Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings recognises that a standard property report is not a warranty against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

The presence of dampness is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether or not services have been used for some time prior to an inspection being carried out will affect the detection of dampness. Also, where a shower recess has been water tested for a minimum of ten (10) minutes, and no leakage was evident, this does not necessarily mean that the shower will not leak after prolonged use. Accordingly, to fully detect and assess a damp problem, may require the monitoring of the building over a period of time.

Consideration should also be given to the inspection and assessment of:

- any individual Minor Defect;
- solving or providing costs for any rectification or repair work;
- the structural design or adequacy of any element of construction;
- the operation of fireplaces and chimneys;
- any services including building, engineering (electronic), fire and smoke detection or mechanical;
- lighting or energy efficiency;
- any swimming pools and associated pool equipment or spa baths and spa equipment or the like;

- any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;
- a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead-based paints;
- a review of environmental or health or biological risks such as toxic mould; and
- in the case of strata and company title properties, the inspection of common property areas or strata/company records.

This additional information or advice may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

In addition, this inspection and report does not include the inspection and assessment of items or areas that do not fall within the consultant's expertise. Accordingly, consideration should be given to other specialist inspections and services such as: hydraulics; geotechnics; or building, engineering (electronic), fire and smoke detection or mechanical services.

As a matter of course, in the interests of safety, an inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

Also, in all parts of mainland Australia, termites are a known problem to timber in service. Therefore, it is recommended that a timber pest inspection and report be carried out in accordance with the Report Systems Australia handbook Timber Pest Detection Reports.

Where possible, the records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g., compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g., from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

This inspection report was produced for the use of the client. The building consultant is not liable for any reliance placed on the report by any third party.

If you have any queries with this report or require further information, please do not hesitate to contact the consultant who carried out the inspection.

Should you have any queries about our terms and conditions, the inclusions and exclusions of this report please contact Kashif Salman on 0433620040

SAMPLE ONLY